

SECTION 1

PROJECT DESCRIPTION

A. Introduction

The subject property is located at APN# 5556016050 in the City of Los Angeles, and is subject to both the Los Angeles Baseline Hillside Ordinance (BHO), and the Los Angeles Municipal Code Development Standards.

B. Property Information

- Address: NONE
- Zoning: R1-1
- Assessor Parcel Number: 5556016050
- Lot size: 4,989.1 square feet (per assessor's map, to be verified by survey)
- Max. Lot Depth: 72.04' feet (per assessor's map, to be verified by survey)
- Mean Lot Width: 72.32' feet (per assessor's map, to be verified by survey)
- Lot Size Per Surveyor: 5,001.2 square feet

C. Primary Development Objective

The primary development objective for the subject property is to legalize the parcel by providing a private driveway to the subject property followed by the construction of a new single-family residence, situated to take advantage of prevailing views, with a detached garage. Further, this analysis will generally outline restrictions and impediments to the future development posed by municipal ordinances, and other authorities with jurisdiction over the parcel.

SECTION 2

PARCEL LEGALIZATION

The subject lot is designated a land-locked lot. Which means, a permit cannot be issued for construction on the parcel unless a 20' wide minimum continuous paved road way is provided from the driveway apron of the subject lot to the boundary of the Hillside Area. This would require a Zoning Administration determination letter of approval in order to construct a driveway to access the lot and lot development.

The subject lot fronts Prince Court which is an unpaved private driveway owned by the City of Los Angeles. We have been in communication with David Roberts and James O' Camb from the Department of General Services (Real Estate Services Division), regarding the needed requirements to receive an approval for dedication of private driveway.

SECTION 3

BUILDING ENVELOPE-CODE REQUIREMENTS AND RESTRICTIONS

A. Maximum Allowable Area and Square Footage Exemptions

1. Guaranteed Minimum Residential Floor Area (RFA) : Due to extreme slope of the subject lot, the property will be subject to the Guaranteed Minimum Residential Floor Area, which is 25% for the R-1-1 zone. Thus, the Guaranteed Minimum by-right RFA permitted by the BHO for the property is **1,247.275 sq.ft.**
2. However, the below sections articulate floor area bonuses and exemptions found within the Baseline Hillside Ordinance, that may be used to increase the permissible RFA.
3. A slope band analysis will have to be completed by a licensed surveyor to provide Maximum RFA.
4. Per slope Band Analysis conducted by M&G Surveyors, our Maximum F.A.R = **1,499.79 sq.ft.** (not including bonuses)

B. Baseline Hillside Ordinance Floor Area Bonuses (30% Area Bonus)

1. 30% Area Bonus: There are various means by which the BHO maximum by-right RFA may be increased by up to 30%, which would increase the allowable RFA for the subject property to:

$$1,499.79(30\%) = 449.937 \text{ sq.ft.} + 1,499.70 \text{ sq.ft.} = \underline{1,949.637 \text{ sq.ft.}}$$

A. Proportional Stories Option: The total RFA of each Story other than the Base Floor in a multi-Story Building does not exceed 75% of the Base Floor Area. A building pad is flat when the Slope of the building pad area prior to any Grading is less than 15%, as measured from the highest and lowest Elevation points of the existing Grade within 5 horizontal feet of the exterior walls of the proposed Building or Structure. This option only applies to flat building pads, and thus cannot be applied on the subject property.

B. Front Façade Step back Option: The cumulative length of the exterior walls which are not a part of a garage facing the Front Lot Line, equal to a minimum of 25% of the Building width, shall be stepped-back a distance of at least 20% of the Building depth from a plane parallel to the Lot width established at the point of the Building closest to the Front Lot line.

C. Cumulative Side Yard Setbacks Option: The combined width of Side Yard shall be at least 25% of the total Lot Width, but in no event shall a single Side Yard setback be less than 10% of the Lot Width or the minimum required by the Zone, whichever is greater. One foot shall be added to each required Side yard for each increment of 10 feet or fraction thereof of height above the first 18 feet of height. The width of a required Side Yard setback shall be maintained for the entire length of a Side Yard and cannot alternate from one Side Yard to the other.

D. 18-Foot Envelope Height Option: The maximum envelope height shall be no more than 18 feet.

E. Multiple Structures Option: Any one Building and Structure extending more than 6 feet above Hillside Area Grade shall cover no more than 20% of the area of a Lot. Such Buildings or Structures may only be connected by one breezeway, fully enclosed walkway, elevator, or combination thereof of not more than 5 feet in width.

F. Minimal Grading Option: The total amount of any Grading on site (including exempted grading) does not exceed the numeric value of 10% of the total Lot size in cubic yards or 1,000 cubic yards, whichever is less.

G. Green Building Option: For a new Single Family Dwelling, the new construction must satisfy the Tier 1 Green Building requirements or higher as defined in the LA Green Building Code.

C. Square Footage Exemptions

1. Building Area not counted toward Residential Floor Area: In addition to the floor area bonuses articulated above, there are a number of building areas that are exempt from inclusion in the RFA calculation. Taking advantage of the below exemptions can further increase the size of a dwelling. An exhaustive list, and additional details are provided within

the text of the Baseline Hillside Ordinance.

A. Parking: The first 400 square feet of required covered parking is exempt.

B. Detached Accessory Buildings: Detached accessory structure not exceeding 200 square feet individually are exempt, limit two (a maximum of 400 square feet may be exempted).

C. Covered Porches, Patios, and Breezeways: The total area of all covered porches, patios and breezeways up to 5% of the building area may be deducted.

Subject Property Buildable Area = 2,943 sq.ft (5%) = 147.15 sq.ft

D. Lattice and Spaced Roofs: Non-weather tight exterior covered spaces with roofs constructed of members spaced widely enough to permit a sphere of 10 inches in diameter to pass through are exempt. All lattice members must have a minimum nominal width of 2 inches. Spaced Roofs, constructed of members running in one direction only with a minimum clear spacing between the members of not less than 4 inches, are also exempt.

E. Over-In-Height Ceilings: The first 100 square feet of any Story or portion of a story of the main building on a lot with a ceiling height greater than 14 feet shall be counted only once. Except that, for a room or portion of a room which has a floor height below the exterior Grade (or "sunken rooms"), when the ceiling height as measured from the exterior natural or finished Grade, whichever is lower, is not greater than 14 feet it shall only be counted once.

2. Lower Levels (Basement per code): A Lower Level, whether habitable or not, when the Elevation of the upper surface of the floor or roof above the Lower Level does not exceed 3 feet in height at any point above the finished or natural Grade, whichever is lower, for at least 60% of the perimeter length of the exterior Lower Level walls, will not be counted towards the RFA. **Within the BHO, there is no express limitation on the area of Lower Levels other than setbacks and general physical and practical constraints.** In order to create a Lower Level lower on the hillside, which may allow the Lower Level to contain more area while maintaining the 60% perimeter coverage, a 4' to 7' mechanical mezzanine can be utilized. This space will count as a story, but will not count against RFA. In this scenario, the max. 12' Lower Level height will be counted from the Lower Level finished floor elevation to finished floor elevation of the mechanical mezzanine.

A. Lower Level height is limited to 12 feet above grade. If the finished floor level directly above a Lower Level is more than twelve feet above grade, such Lower Level shall be considered a story.

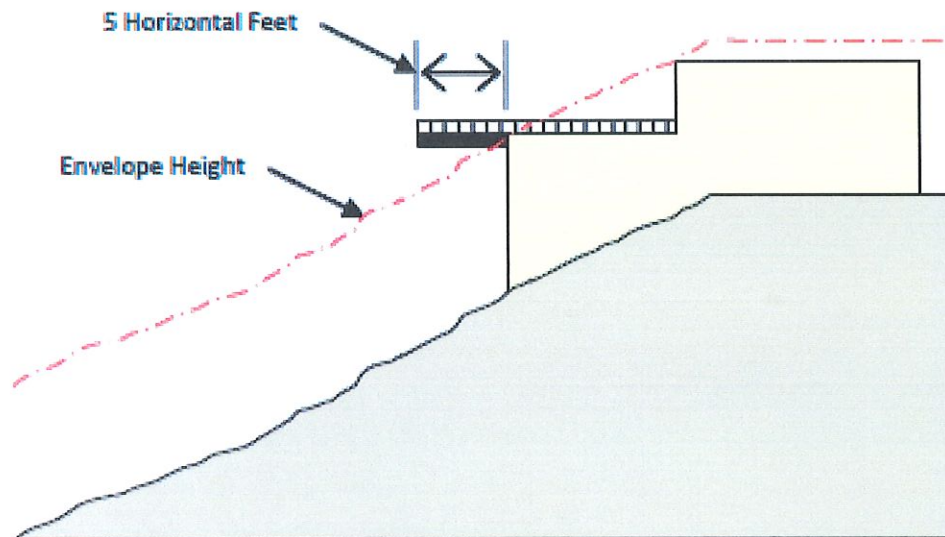
B. If the finished floor level directly above a Lower Level is more than six feet above grade for more than 50% of the total perimeter, such Lower Level shall be considered a story.

C. For all Lots, a maximum of 2 light-wells which are not visible from a public right-of-way and do not project more than 3 feet from the exterior walls of the Lower Level and no wider than 6 feet shall not disqualify said Lower Level from this exemption.

D. Height Requirements

1. Measurement of Height. Notwithstanding any other provision in the Code, the height limits in Table 5 – Maximum Height of Structures above shall be measured as set forth below.
2. Maximum Envelope Height. Envelope height (otherwise known as vertical height or "plumb line" height) shall be the vertical distance from the Grade of the site to a projected plane at the roof Structure or parapet wall located directly above and parallel to the Grade. Measurement of the envelope height shall originate at the lowest Grade within 5 horizontal feet of the exterior walls of a Building or Structure.
3. At no point shall any given section of any part of the proposed Building or Structure exceed the maximum envelope height.
4. A topographic map shall be submitted as a separate plan sheet or as part of the site plan identifying the 5-foot perimeter of the exterior walls, or any other information which the Department of Building and Safety deems necessary to determine compliance with this provision.
5. A Zoning Administrator may allow Structures which exceed the maximum envelope height requirements of Table 5 – Maximum Height of Structures; however, the increase in height may not result in a Building or Structure which exceeds an overall height of 45 feet, pursuant to the authority and procedures established in Section 12.24 X.28 of the LAMC.

6. For any Lot fronting onto a Substandard Hillside Limited Street and subject to the 5-foot Front Yard setback, no portion of a Building or Structure within 20 feet of the Front Lot Line shall exceed 24 feet in height. The 24 foot maximum Building and Structure height shall be measured from the Elevation at the centerline or midpoint of the Street on which the Lot fronts.
7. Unenclosed/uncovered rooftop decks, cantilevered balconies and "visually permeable railing" (no more than 42 inches in height), may project beyond the maximum envelope height no more than 5 horizontal feet. For the purposes of this provision, "visually permeable railing" means railing constructed of material that is transparent, such as glass or plastic panels, or wrought iron or other solid material which is 80% open to light and air.

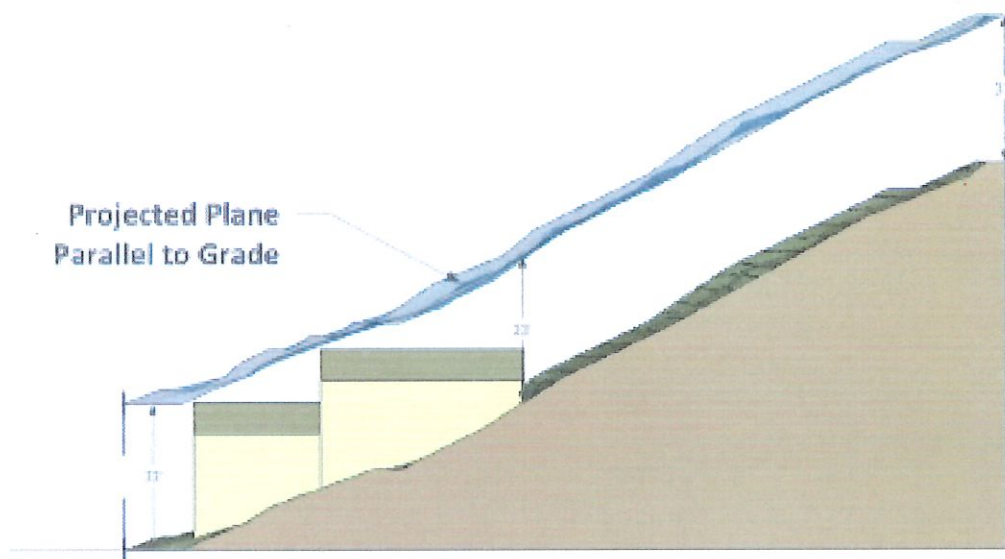


R1 Zone:

**MAXIMUM HEIGHT FROM CENTERLINE OF STREET
TO 20' OF FRONT LOT = 24'-0"**

MAXIMUM SLOPED ROOF HEIGHT= 33'-0"

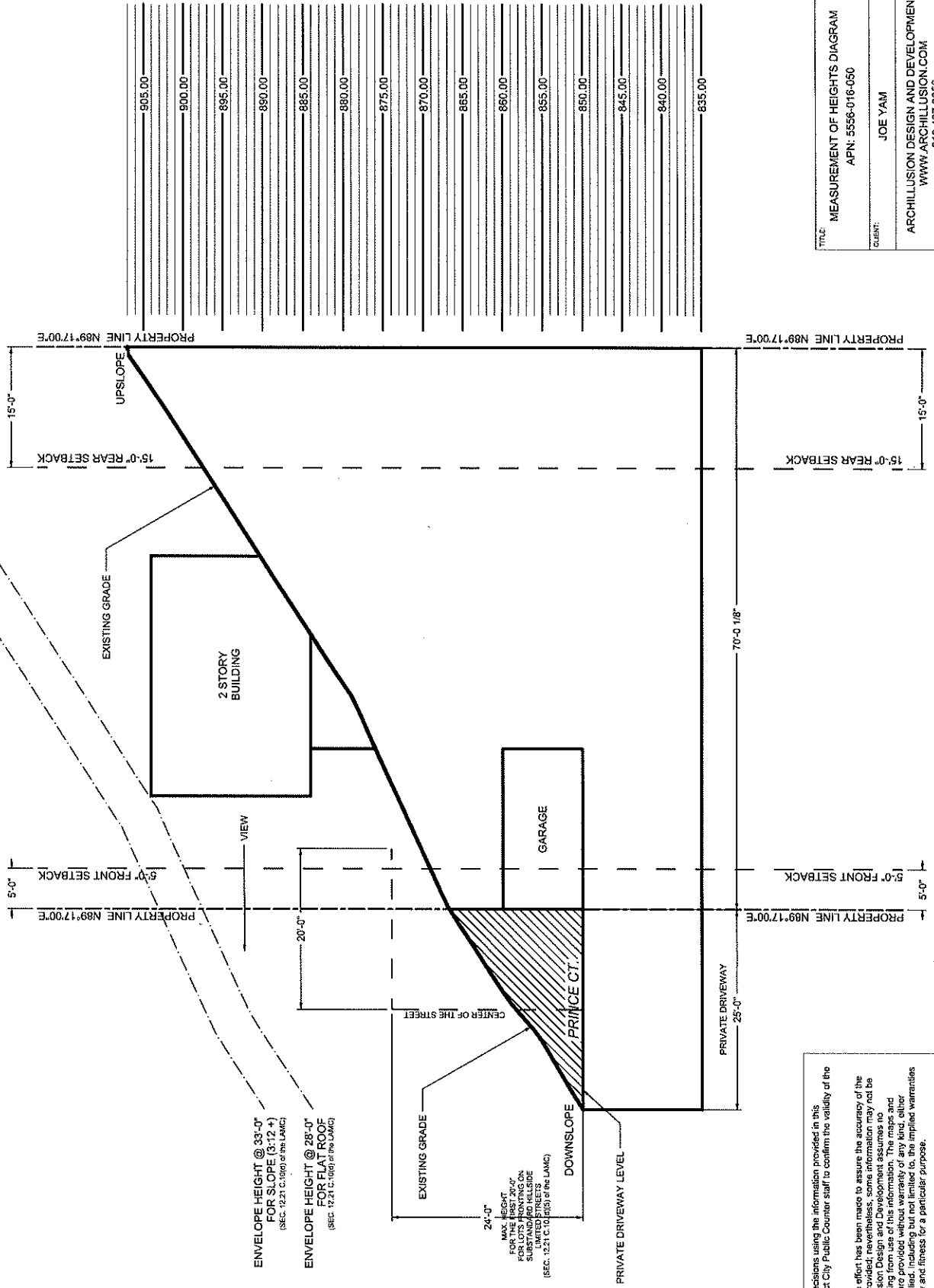
MAXIMUM FLAT ROOF HEIGHT = 28'-0"



E. Lot Coverage

1. Buildings and Structures extending more than 6 feet above natural ground level shall cover no more than 40% of the area of a Lot.
2. Notwithstanding the provision above, for a Lot which is substandard as to width (less than 50 feet) and as to area (less than 5,000 square feet), Buildings and Structures shall cover no more than 45% of the area of a Lot.
3. A Zoning Administrator may grant limited deviations from these requirements, pursuant to the authority and procedures established in Section 12.24 X.28 of the LAMC.

ENVELOPE HEIGHT @ 33'-0"
 FOR SLOPE (3:12 +)
 (SEC. 12.21 C.1009 OF THE LAMC)
 ENVELOPE HEIGHT @ 28'-0"
 FOR FLAT ROOF
 (SEC. 12.21 C.1009 OF THE LAMC)



Before making decisions using the information provided in this document, contact City Public Counter staff to confirm the validity of the data provided.

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F. Setbacks

1. Required Yards: Front, side, and rear yard setbacks apply to the subject property, and are governed by the Baseline Hillside Ordinance.
2. However, for any Lot that fronts on a Substandard Hillside Limited Street, the minimum Front Yard setback is 5'. However, the prevailing Front Yard setback, as outlined in Paragraph a above, will supersede this provision if it is greater than 5'.

Per R1 Zone:

Front Yard Setback = 5'

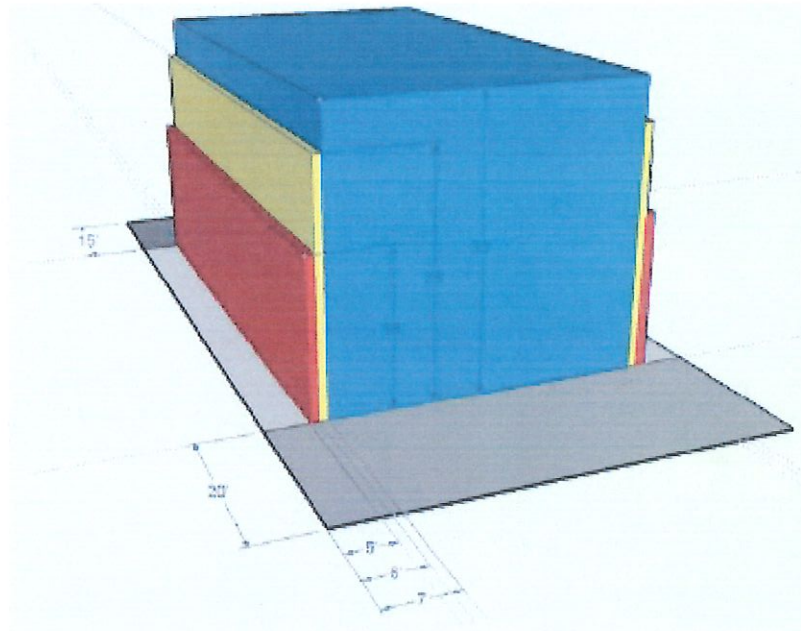
Rear Yard Setback = 15 feet

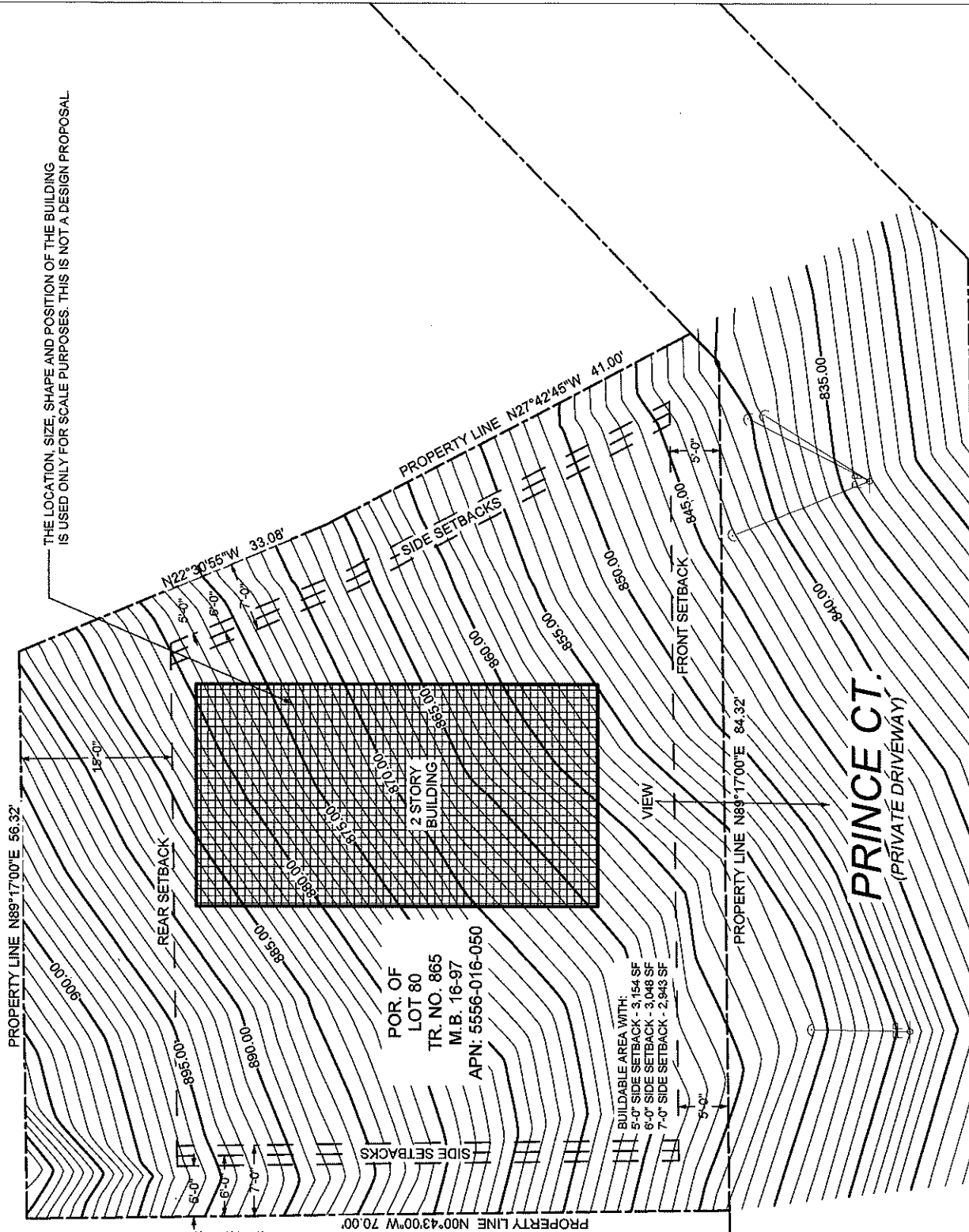
**Side Yard Setbacks: 5' plus one additional foot for each
Increment of ten feet above the first 18'-0" of Building Height.**

18'-0" Building Height = 5' Side Setbacks

18'-0" - 28'-0" Building Height = 6' Side Setbacks

28'-0" - 33'-0" Building Height = 7' Side setbacks





THE LOCATION, SIZE, SHAPE AND POSITION OF THE BUILDING IS USED ONLY FOR SCALE PURPOSES. THIS IS NOT A DESIGN PROPOSAL.

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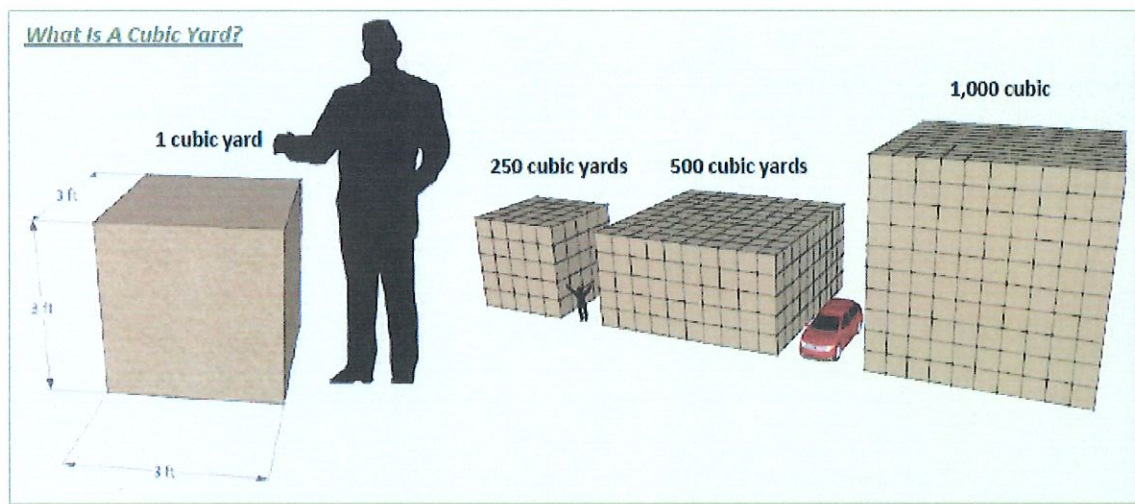
SECTION 4

GRADING

A. Maximum Grading Quantities

1. By-Right Grading Quantity : The cumulative quantity of Grading, or the total combined value of both Cut and Fill or incremental Cut and Fill, for any one property shall be limited to a base maximum of 500 cubic yards plus a numeric value equal to 5% of the total Lot size in cubic yards.
2. However, the upper limit in the R1 zone is 1,000 cubic yards.
3. For the subject property, the following by-right grading quantities shall apply: Maximum Non-Exempt Grading Quantity: **1,000 cubic yards**
4. Grading Quantity Exceptions: The grading activities outlined below shall be exempt from the Grading and/or earth transport limitations established in the two sections prior.
 - A. Cut and/or Fill underneath the footprint of a structure(s) (such as foundations, understructures including basements or other completely subterranean spaces, not including pools and sports courts), as well as for water storage tanks, required stormwater retention improvements, and required animal keeping site development that do not involve the construction of any freestanding retaining walls.
 - B. Cut and/or Fill, up to 500 cubic yards, for driveways to the required parking or fire department turnaround closest to the accessible Street for which a Lot has ingress/egress rights.
 - C. Remedial Grading as recommended in a Geotechnical Investigation Report, prepared in accordance with the LA Municipal Code, and approved by the Department of Building and Safety – Grading Division.
5. Import and Export Limits: Because the subject property fronts a Substandard Limited Hillside Street, the maximum quantity of earth import shall be no more than 375 cubic yards. The maximum quantity of earth export shall be no more than 750 cubic yards.

6. These limits can be exceeded through an approval via a Haul Route Hearing. The Haul Route Approval process takes roughly 6 -9 months from submittal of the Haul Route Application, which requires an approved Soils Report and preliminary civil grading plans. Haul Routes are a by-right process, and the city can impose certain conditions but not deny the hauling entirely.



SECTION 5

ADDITIONAL REQUIREMENTS AND RESTRICTIONS

A. Restrictions

1. Required Covered Parking: There shall be at least **two Parking Spaces** on a lot per each Single-Family Dwelling thereon. These required spaces shall be provided within a Private Garage, and shall not be located within a required Front Yard.

2. Retaining Walls: All properties have the right to construct one 12-foot high, freestanding retaining wall or two 10-foot high retaining walls on site. Existing retaining walls on site permitted prior to 2004 do not count towards these totals. These may be required in order to establish the 15'-0" wide Grading Department-required setback between the ascending slope in the rear yard area, and the back wall of the proposed structures.
3. Geotechnical: The subject property consists of very steep slopes, which will require soils report to be provided by a licensed engineer and submitted to Grading Department for approval.
4. Easements: We would need to be provided with a Title Report in order to review the impact of any associated easements.
5. Bureau of Engineering will require to pave portions of city property as well as the private driveway to access the property.
6. Bureau of engineering will also require to extend the sewer mainline. This process will involve two sets of civil plans to be submitted for B-Permit Bond estimating purposes only, not plan check. Separate plans will be submitted by the engineer for plan check and approval.
 - a. Deposit of \$2,000.00 to City of Los Angeles.
 - b. Required conditions of approval (EX. ZA, DIR, Hillside Ordinance, etc.)
 - c. B-Permit Application with signature of current property owner.
 - d. Engineers quantity take-off (On private engineers letterhead, or stamped by private engineer.

LOCATION, SIZE, SHAPE AND POSITION OF THE MASSING IS USED ONLY FOR SCALE PURPOSES. THIS IS NOT A DESIGN PROPOSAL.

15' REAR SETBACK

5' - 7' SIDE SETBACK

5' FRONT SETBACK

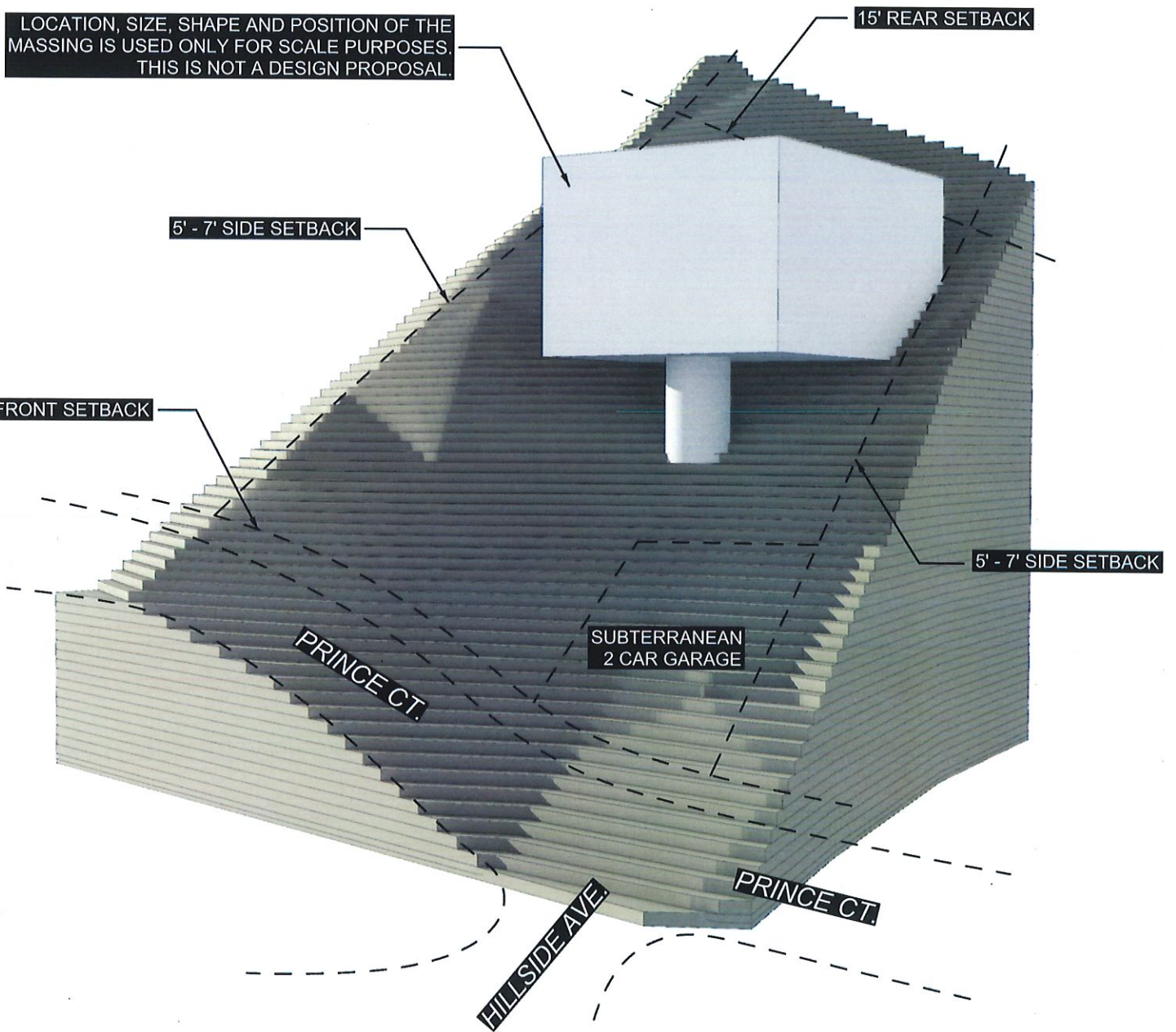
5' - 7' SIDE SETBACK

SUBTERRANEAN
2 CAR GARAGE

PRINCE CT.

PRINCE CT.

HILLSIDE AVE.



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This report may contain references to the construct-ability of the proposed work. These are good-faith opinions, based on our experience. This report is not intended to be used for cost-estimating purposes. Findings that a property is develop-able within the parameters of the bodies having jurisdiction over it does not mean such property's development is compatible with the Client's budget, schedule, or other objectives.

Client hereby agrees that Archillusion Design and Development shall not be liable for any special, indirect, or consequential damages arising from the use of this report by the Client or its agents.

Please Contact Archillusion Design and Development to further discuss this report and conceptual plan preparation.

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A handwritten signature in black ink, appearing to read "Heam", is written over the contact information.